



**THERMAL
PRE-SALE
PROPERTY
INSPECTION**

BUILDING

To comply with Australian Standard AS4349.1-2007

**Inspected by:
Aaron Jackson-Hope
ASSURED Property Inspections**



Thermal Pre-Sale Building Inspection Report

To comply with Australian Standard AS4349.1-2007

1.0 CLIENT DETAILS:					
Client:	Silas Sutherland & Janine Elizabeth Watson				
Contact Details:	Ph: C/- 0404 158 364 Email: C/- dave@davet.com.au				
Job Invoice No:	102289				
Inspection address:	25 Sunset Avenue Woolgoolga				
Inspection Date & Time:	<table border="1"> <tr> <td><u>Date:</u> 23/03/2021</td> <td>Arrival Time: 08:30</td> </tr> <tr> <td></td> <td>Departure Time: 10:30</td> </tr> </table>	<u>Date:</u> 23/03/2021	Arrival Time: 08:30		Departure Time: 10:30
<u>Date:</u> 23/03/2021	Arrival Time: 08:30				
	Departure Time: 10:30				
Weather Conditions at time of inspection:	Raining				
Building if Furnished:	Yes, the dwelling was fully furnished and all cupboards & built-in robes were full of the occupier's stored goods throughout at the time of this inspection				
Building Tenancy:	Occupied				
Persons present at time of inspection:	Vendor				



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Front Elevation of the Inspected Property

Please take the time to completely read this visual pre-sale property inspection report.



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2.0 FEE & INSPECTION AGREEMENT

This agreement forms part of this Pre-sale Inspection Thermal Building Report.

(Offer & Acceptance, Form of Valuable Consideration and Instructions apply here.)

(Definition: Offer and Acceptance; analysis is a traditional approach in contract law used to determine whether an agreement exists between two parties. Agreement consists of an offer by an indication of one person (the "offeror") to another (the "offeree") of the offeror's willingness to enter into a contract on certain terms without further negotiations. A contract is said to come into existence when acceptance of an offer (agreement to the terms in it) has been communicated to the offeror by the offeree and there has been consideration bargained-for induced by promises or a promise, associated costs and performance.)

(Definition: Valuable Consideration; it is very important that the Purchaser has had time to consider and deliberate what it is you, the inspector, is about to carry out for them as per their instructions. The benefit of carrying out this inspection is confirmed for example if Credit Card details are provided or an agreement is entered into for payment prior or on delivery of the inspection reports.)

(Definition: Instructions; the purchaser has given verbal or written directions to carry out this pre-purchase building inspection on their behalf. At times it is very difficult to obtain written directions if the inspection and report is to be carried out the same day as ordered.)

Agreement No: 102289	Client: Silas Sutherland and Janine Watson
Phone: C/- 0404 158 364	Property at: 25 Sunset Avenue Woolgoolga
You agree to a fee of \$550 Inc. GST for this Property Inspection and Report	

**YOU AGREE TO THE FOLLOWING CONDITIONS & THE INSPECTION TYPE ORDERED BY YOU.
(PRE-SALE THERMAL BUILDING INSPECTION & REPORT)**

This inspection will be carried out in compliance with AS4349.1-2007 except for Strata Units or properties where the inspection will be according with Appendix B of AS4349.1-2007.

1. This inspection is a visual evaluation only for the buildings within 30 metres of the main building and within the inspection properties boundaries.
2. **ACKNOWLEDGMENT:** I agree to contact the Inspector once I have read the report or the Inspector will contact me.
3. Safe and reasonable access will only be achieved to the property being inspected to the areas of, The Exterior, The Site, The Boundaries, The Roof Exterior (subject to height & weather restrictions) The Interior, The Interior of The Roof Space and within the Sub Floor areas (if applicable) only.
4. The report will also advise on visible minor and major defects, safety hazards and any cracking visible to the buildings elements on the day and time of the inspection.
5. The Inspector will not conduct any invasive inspections. (Written instructions must be provided for any invasive inspections required now or in the future as the Inspector will not cut, break apart, dismantle or remove any objects of roofing, wall or ceiling linings, A/C ducting, foliage, roof insulation, floor or wall coverings, fixtures, furnishings or any personal belongings currently in place.)
6. The Inspector will advise you should there be need to carry out an Invasive Inspection to the property that they inspected. In the event an Invasive Inspection should be required, then you should NOT agree to anything until this Invasive Inspection has been completed and reported on.
7. We DO NOT & WILL NOT inspect inside of walls, between floors, inside flat roofing, inside any eave areas, behind any stored goods in cupboards, behind heavy furnishings and other areas that are obstructed at our inspection.
8. It is highly recommended that a full Timber Pest Inspection carried out in compliance with AS4349.3-2010.
9. **No inspection will be carried out for Asbestos.** (This is out of our area of expertise, unless otherwise stated)
10. **No inspection will be carried out for Magnasite.** (This is out of our area of expertise, unless otherwise stated)
11. **No inspection will be made for Mould.** (This is out of our area of expertise, unless otherwise stated)



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12. **No inspection will be made for Solar Power Panels.** (This is out of our area of expertise, unless otherwise stated)
13. Costs for and building rectification works are not provided within this Report. Should you require any costing's you should seek further advice from a Licensed Builder, Architect or a Quantity Surveyor.
14. When a property is occupied we bring your attention to be aware that furnishings and other belongings may conceal evidence of other issues which can only be discovered if and when these items are moved or removed and or after this inspected property has been vacated.
15. When and if Timber Pest Damage is found, it will be reported. We will only report on the visible damage at the time of this inspection.
16. We will at times recommend other types of inspections that are out of our areas of expertise during our inspection reporting process.
17. This Inspection will not cover or report the items listed in Appendix D in AS4349.1-2007. A copy of Appendix D can be provided upon request.
18. This report is not a Structural Report. Should you require any advice of a structural nature you should contact a Structural Engineer in relation to this dwelling.
19. Where a Strata Title property is to be inspected, then we will only inspect the strata unit's interior and the unit's immediate exterior to be inspected as detailed in Appendix B in AS4349.1-2007. A full Strata Report must be obtained for all of the common areas before you make an informed decision to purchase the Unit. A copy of Appendix B can be provided upon request.
20. If an issue, pending dispute or a claim arises out of this inspection and report then each party must give written notice to each of the parties within 28 days. Disputes will then be handled by an independent mediator, Housesafe or an arbitrator. Each party will pay their own costs.
21. We will not be liable for any third party loss or damage suffered by any Person other than you in connection with the Inspection Reports use. We are released from any claims or further actions, damages or loss whatsoever if this report is to be used by another person or entity without our written permission to do so.
22. The extent of accessible areas shall be determined by the inspector at the time of inspection, based on the conditions encountered at the time of inspection. The inspector shall also determine whether sufficient space is available to allow safe and reasonable access.

If sub-floor areas appear to have been recently sprayed with any Chemical Treatments these areas should not be inspected unless it is safe to do so.

Area	Access Panel	Crawl space	Accessible Height
Roof Space:	400mm x 500mm	Minimum of 600mm x 600mm	From a 3.6m ladder off a level platform and only if it is safe to do so
Roof Exterior:	-	-	From a 3.6m ladder only and off a safe level ground surface
Subfloor:	Subject to inspector's discretion as to safe and reasonable access	Subject to inspector's discretion as to safe and reasonable access	Subject to inspector's discretion as to safe and reasonable access

23. Limitations to this Inspection are noted above and how these limitations may affect the Inspection are:
 - In general, any stored or scattered goods, stored boxes, parked cars, bikes, boats, trailers, A/C unit's and their ducting and any external covering foliage, plants, vines, stored fire wood and timbers, vines clinging to external wall surfaces, trees covering areas will hinder our inspection to the areas clearly stated within the body of this report.
24. We invite you to contact the inspector shown on the last page of this report so any implications or unresolved issues can be explained. The inspector can only advise on areas within their area of expertise. Any unexplained areas you agree to research yourself prior to making any further decision to purchase this property.



25. You're the Purchaser need to have any misunderstood issue fully explained to you prior to making any decision in purchasing this as inspected property. Your Conveyancer is not adequately qualified to explain any issues to you, you must contact the Inspector shown on the last page of this report.

3.0 SUMMARY OF THIS INSPECTION:

3.1 OVERVIEW:

The following summary below of **Satisfactory, Average and Poor** apply to the overall condition and to other areas of this Inspected Property if and when stated within this report document:

SATISFACTORY	The areas inspected appear to be in serviceable and sound acceptable condition without any significant visible defects.
AVERAGE	The inspected areas evident require repairs and or maintenance which are consistent and normal due to the age of the property.
POOR	The areas inspected require major repairs and or replacement due to its age, poor maintenance, deprived state, deterioration or not being completed to an acceptable standard of workmanship.

ROOF EXTERIOR:	NA
THE EXTERIOR:	Average
THE SITE: a/ Retaining Walls: b/ Site Drainage: c/ Out-buildings:	NA Satisfactory NA
THE SUB FLOOR SPACE:	Average
THE ROOF VOID SPACE:	NA
THE INTERIOR:	Average
OVERALL CONDITION OF THE BUILDING:	Average

NOTE: Other photos not shown in this report may have been taken of this property indicating the inspector's observations on the day in relation to any excessive foliage growth, damaged retaining walls, pool areas, areas that are not part of this inspection, termite matters, hindered or restricted access areas and of any other issues not covered.

NOTE: This report does not advice on events or any further damage occurring to the property post the inspector departing the property this inspection report is valid for 7 days from the date of inspection.

NOTE: All floor surfaces may become slippery when wet. Should you have any concerns regarding slippage to these surfaces, you should seek advice from a slip risk specialist.



3.2 PURPOSE:

This report should only be read in its entirety for the purpose of to give the vendor an overview of what is required to bring the dwelling(s) up to a saleable standard as well as to potentially resolve any unknown issues.

3.3 SCOPE:

This pre-sale property building inspection shall comprise of a visual assessment only for the main buildings general condition and buildings within 30 metres of the main building only, to give the vendor an overview of what is required to bring the dwelling(s) up to a saleable standard and should not be relied upon by any potential purchaser. This report is not a Structural Report, should you require any advice of a structural nature you should contact a Structural Engineer in relation to this dwelling.

3.4 SUMMARY:

OBSERVATION OF DEFECTS AT THE TIME OF THIS INSPECTION:

Defects are categorized into 6 areas as described below.

These descriptions are clearly defined in AS4349.1-2007 Table 3.3 "Type of Defects."

A-Damage (visual disruption or breakage resulting in loss of value or the impairment of usefulness,)

B-Distortion, warping and twisting (a change in the shape of an image resulting from imperfections from its intended location,)

C-Water penetration, damp related (the presence of moisture and/or egress or entry of forms of water and dampness into unintended locations,)

D-Material deterioration (rusting, rotting, corrosion, decay) (alteration of the products or elements original intended finish,)

E-Operational (not being fit for proper functioning and /or ready for use,)

F-Installations & Appearance (inappropriate fitting and finish of a products intended use)

3.4.1 Summary of MAJOR DEFECTS:

Description: Being a defect of significant magnitude that requires immediate rectification. At this inspection we will assess and appraise the properties building elements for the presence of visible defects.

My observation of visual Major "Defects" found at the time of this property inspection:

None identified

3.4.2 Summary of MINOR DEFECTS:

Description: Classified as anything other than a major defect.

My observation of visual Minor "Defects" found at the time of this property inspection:

1/ Gutters and downpipes leaking with downpipes rusting in areas

2/ Exterior paint finished weathered, and flaking in areas

3/ Garage barge pointing cracked

4/ Barge boards weathered with rot in areas

5/ Walls are marked and cracked in areas



6/ Some windows and doors require maintenance

7/ Laundry wall behind door is moisture affected

Please note other defects may be listed in the body of this report, please read this report in its entirety.

3.4.3 Summary of SAFETY ITEMS (INCLUDING STEPS):

*Description: Issues identified at the time of my Inspection. (Duty to Warn!) **WARNING***

My observation of Safety issues found at the time of this property inspection:

None identified

Description and ID of the Property Inspected:

Height: Single Storey

Construction Type:

Floor type: Particle board and ply

Exterior Wall type: Hardiboard/Weatherboard

Exterior Roof type: Gable

Exterior Roof covering: Tiles

Interior Linings: Gyprock

4.0 ACCESS AT THE TIME OF THE INSPECTION

Areas Inspected & Areas Not Inspected and Why:

1. **The Areas Inspected were:**
 - a. The Interior
 - b. The Exterior
 - c. The Sub Floor area
 - d. The Boundaries
 - e. The Site
2. **Therefore, the Areas or Sections that Access SHOULD be fully gained are:**
 - a. Roof Exterior
 - b. Interior

NOTE: It is recommended that an additional manhole must be put into place to gain access into the areas beyond the hindering valley series timber trusses as valley series trusses are NOT crawled through at a visual pre-purchase inspection



3. **The Areas that were NOT Accessible for Inspection are and the reasons WHY were:**

- a. Roof void: Raked ceilings
- b. Hindered access to roof exterior: Weather conditions

4. **The Areas in which Visual Inspection was Obstructed and reasons WHY were:**

- a. The internal rooms being: Furnished, floor coverings, and storage

Further Inspection of these areas is essential once access has been obtained or when this property has been vacated at an additional cost.

5.0 CRACKING:

Findings of this Inspections Cracking to the External and Internal Building Elements:

Is there cracking to the dwellings Building Elements? Yes

NOTE: Cracking within the categories below will require a Structural Engineers Inspection for a complete determination on the effects to this dwelling prior to you making a decision to purchase.

An Engineer is required to Certify for all cracking over category 2

Cracking Categories: Cracking is also categorized into the following 5 categories with a description of typical damage and required repairs:

0-Hairline cracking, less than 0.1mm,

1-Fine cracks that do not need repair, less than 1.0mm,

2-Noticable cracks, yet easily filled 1mm - 5.0mm,

3-Cracks that can be repaired and possibly some of the wall sections will need to be replaced. Note weather tightness can be impaired, 5.0mm -15.0mm,

4-Extensive repair works required involving breaking out and replacing these sections. Walls can become out of plumb and fall and causes reduced bearing capacity, 15.0mm - 25.0mm.

The cracked areas	Photo of crack in report	Approximate width & length of the cracking
To the walls and ceilings within the interior as stated within the body of this report, being category 2	Yes As in the body of this report	<u>Interior:</u> under 2 mm and up to 700 mm in length



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6.0 THE EXTERIOR OF THE BUILDING:



Garden covering foundation wall



Gutter paint finish worn



Roller door dented



Eave lining water stained



Foliage against the exterior can allow undetected termite entry



Downpipe leaking



Downpipe bracket rusting



Gutter leaking



Downpipe rusting



Barge board weathered



Pointing damaged



Door guide rusting



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Barge board weathered



Path cracked



Path cracked



Stair tread paint finish worn



Downpipe not connected to stormwater



Veranda paint finish worn



Screening inhabits fence inspection



Veranda ceiling paint finish worn



Downpipe cracked

ADDITIONAL COMMENTS:

1. Wood decay damage was evident to the dwellings: Barge boards
2. The exterior paint finish was in average condition.
3. The downpipe brackets are in average condition.
4. This property has aluminium windows and doors, and timber doors. Their operation was found to be average, therefore some units will need general adjustment and lubrication to correct their intended use.
5. Flyscreens are in average condition.
6. External exposed door locks are in satisfactory condition.
7. External light fittings are in satisfactory condition.



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7.0 THE SUB FLOOR OF THE BUILDING:



Subfloor section 1



Timber support below kitchen can allow termite entry



Stored timber attracts termites



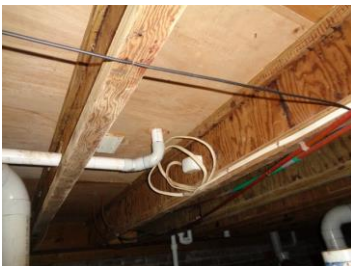
HWS overflow should be diverted



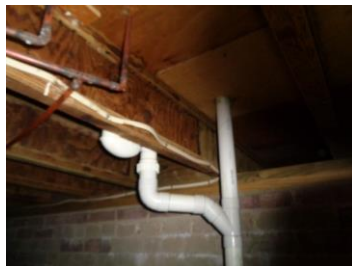
Water pools along the foundation wall



Subfloor section 2



No leaking from wet area



No leaking from wet area



No leaking from wet area

ADDITIONAL SUB FLOOR AREA ITEMS WE NOTED:

1. Ventilation: Satisfactory
2. Dampness: Yes
3. The sub floor cleanliness: Average
4. Stored/loose timbers: Yes (Stored timbers within a sub floor area will form a "Conductive" condition to pending and possible termite attack.)
5. Drainage: Average
6. Hanging cables: No



7. Water pipes: No leak evident
8. Bearers & Joists: Satisfactory
9. Ant Capping: Adequate
10. Wood decay damage: No
11. Termite damage: No
12. Plumbing pipes: No leak evident

8.0 THE ROOF SPACE OF THE BUILDING:

N/A, as this dwelling is of raked ceiling construction which is not accessible for inspection.

9.0 THE ROOF EXTERIOR OF THE BUILDING:

N/A Due to the weather conditions making it unsafe, this roof exterior was not accessed, however it may be essential that this roof exterior be completely inspected once it is safe to do so.

ADDITIONAL ROOF EXTERIOR ITEMS WE NOTED:

1. Bedding & Pointing: Average, cracked over garage barge board
2. Gutters & valley gutters: Average
3. Gutter rusting: No
4. Downpipe rusting: Yes
5. Gutters & downpipes leaking: Yes
6. The eave lining: Average

10.0 THE BUILDINGS SITE:

FURTHER SITE FINDINGS

1. Site drainage: Satisfactory
2. The driveway: Satisfactory
3. Paths & paved areas: Average, cracked in areas
4. Water supply: Town
5. Fences: Satisfactory
6. Gates: Satisfactory



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7. NOTE: Hot Water & A/C units are not tested at the time of inspection however a clear hose should be fitted to the overflow pipe and redirected into an appropriate drainage inlet point, a licensed plumber should be consulted for further advice, if required. The age of the existing unit is unknown.

Note: we do not test the pressure relief valves on freestanding hot water units as this valve may break, seize or leak due to lack of testing over a period of time by the owners of properties.

Note: hot water units with storage tanks must have the temperature set above 60 degrees to prevent bacteria forming within the tank and unit itself.

GENERAL SITE NOTES & OTHER AUSTRALIAN STANDARD

AS2870 REQUIREMENTS TO APPLY:

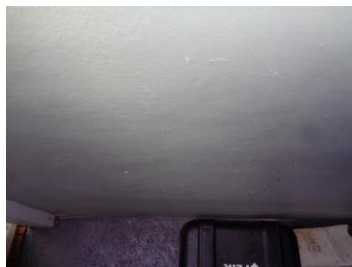
Stormwater Drainage & Surface Drainage: All of this property's existing stormwater drainage and connection points and any if applicable surface drainage and or grated inlet drainage points around this dwelling, are to be checked and kept unobstructed and unblocked at all times. For dwellings without visible diversion drainage this drainage must be put into place to prevent further foundation movement to this dwelling and possible destabilisation in the future, or proof by certification is to be provided that an adequate drainage system actually exists on and within this property. It is essential to prevent surface waters from entering the sub floor area of timber floored dwellings to prevent rising damp from causing peaking and cupping to the timber flooring materials. This drainage gives best results once fitted on the high side elevations of this as inspected dwelling or building. *(I refer to AS2870 for compliant instructions if required.)*

Concrete Paths & Driveways: Any concrete paths, concrete slabs or concrete driveways that have been placed directly against any of the dwellings downpipes and or their stormwater drainage points may cause downpipe and stormwater connection slippage over time due to shrinkage within the dwellings foundations. Therefore, it is essential these areas be monitored regularly to prevent stormwater leaking and foundation point saturation from occurring. *(In normal building practise, there must be expansion jointing material placed around the downpipe or stormwater drainage areas before the concrete areas are poured.)*

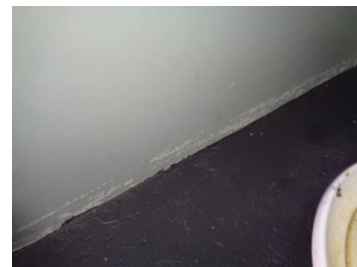
11.0 THE INTERIOR OF THE BUILDING & INVASIVE INSPECTION REQUIREMENTS:



Garage



Walls marked



Walls scuffed

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Roller door rusting



Laundry



Wall cracked



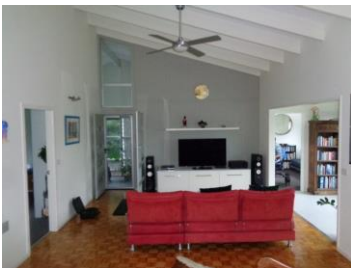
Door marked



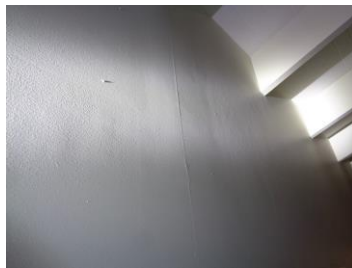
Wall behind door moisture affected



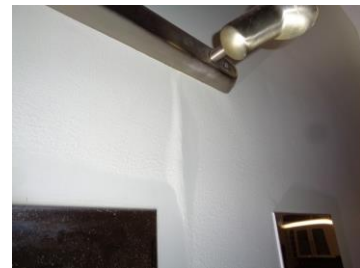
High moisture in wall



Living



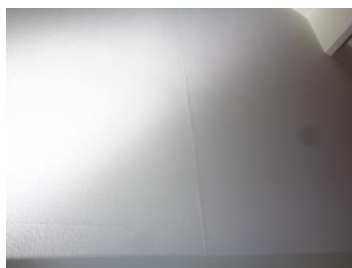
Wall cracked



Wall cracked along taped joint



Dining



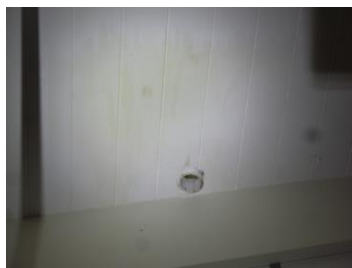
Wall cracked along sheet join



Wall marked



Kitchen



Ceiling stained around vent pipe



Small chip in bench top



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Sunroom



Wall cracked



Wall cracked along sheet joint



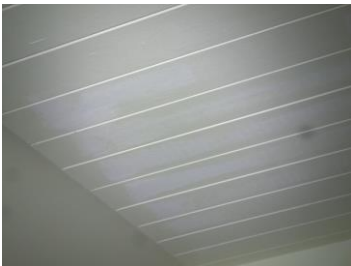
Wall cracked



Wall cracked



Wall cracked along sheet joint



Ceiling paint patchy



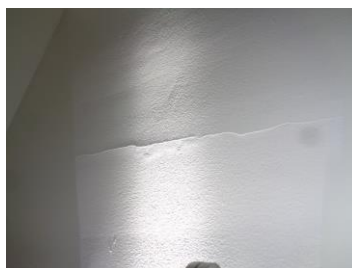
Bathroom



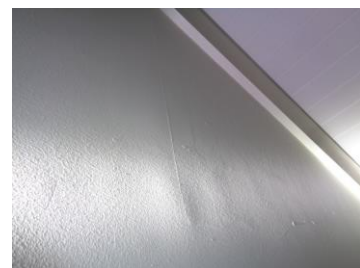
Bedroom 1



Wall cracked



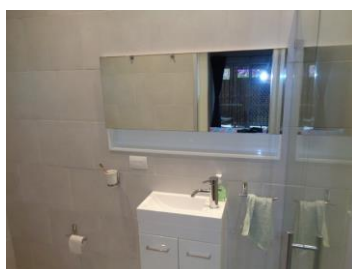
Wall cracked



Wall cracked along sheet joint



Wall cracked along sheet joint



Ensuite



Door scuffed

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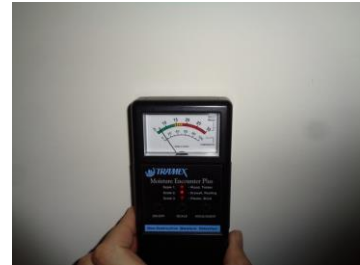
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Wall tiles uneven



Wall tiles uneven



No moisture behind shower



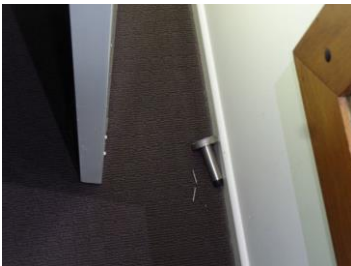
Bedroom 2



Carpet marked



Carpet showing wear



Door stop needs refitting



Bedroom 3



Carpet showing wear



Window sill weathered



Window sill weathered



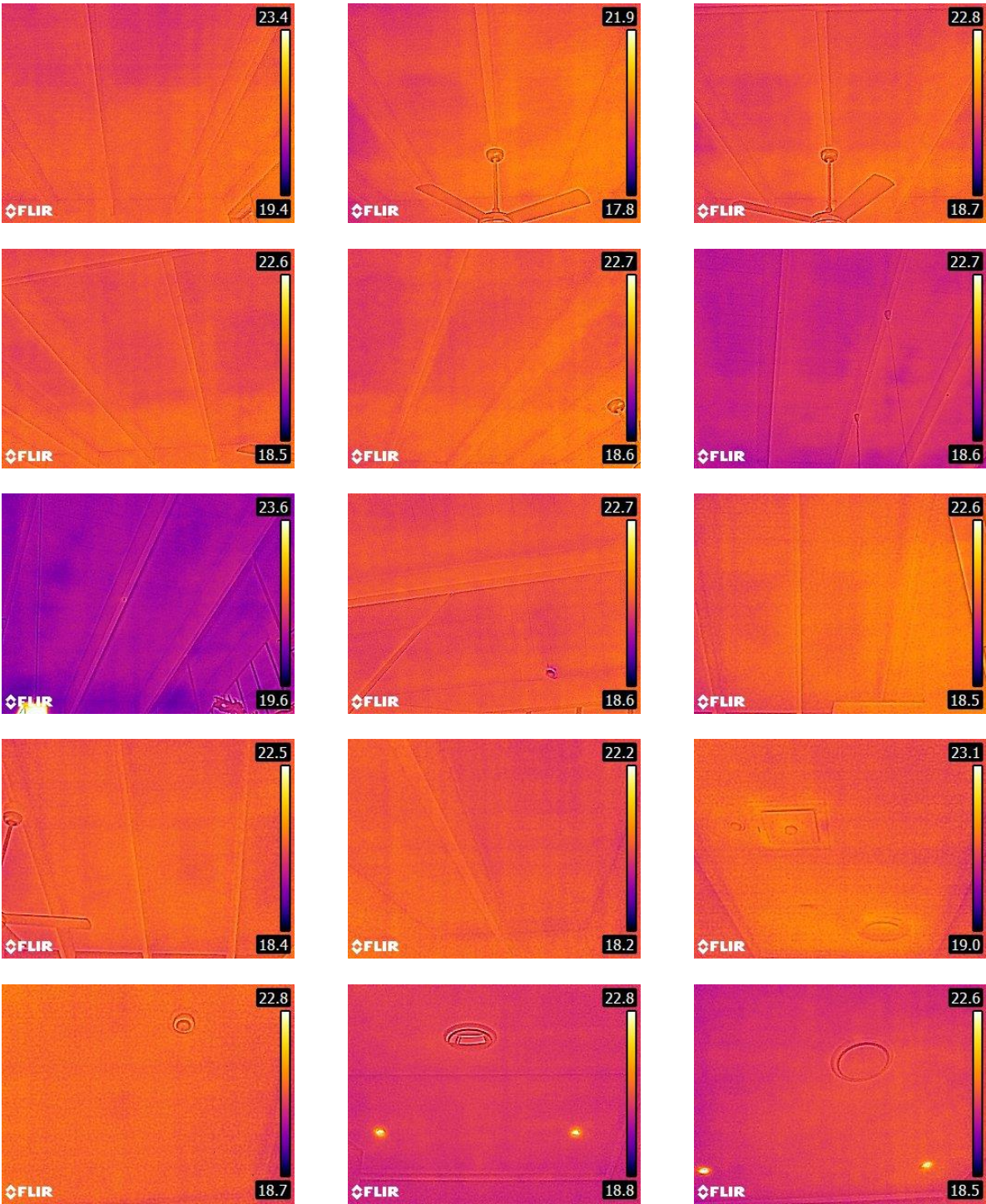
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THERMAL FINDINGS:

Below are thermal images taken of the raked ceiling areas showing no signs of leaking from the roof exterior at the time of inspection.

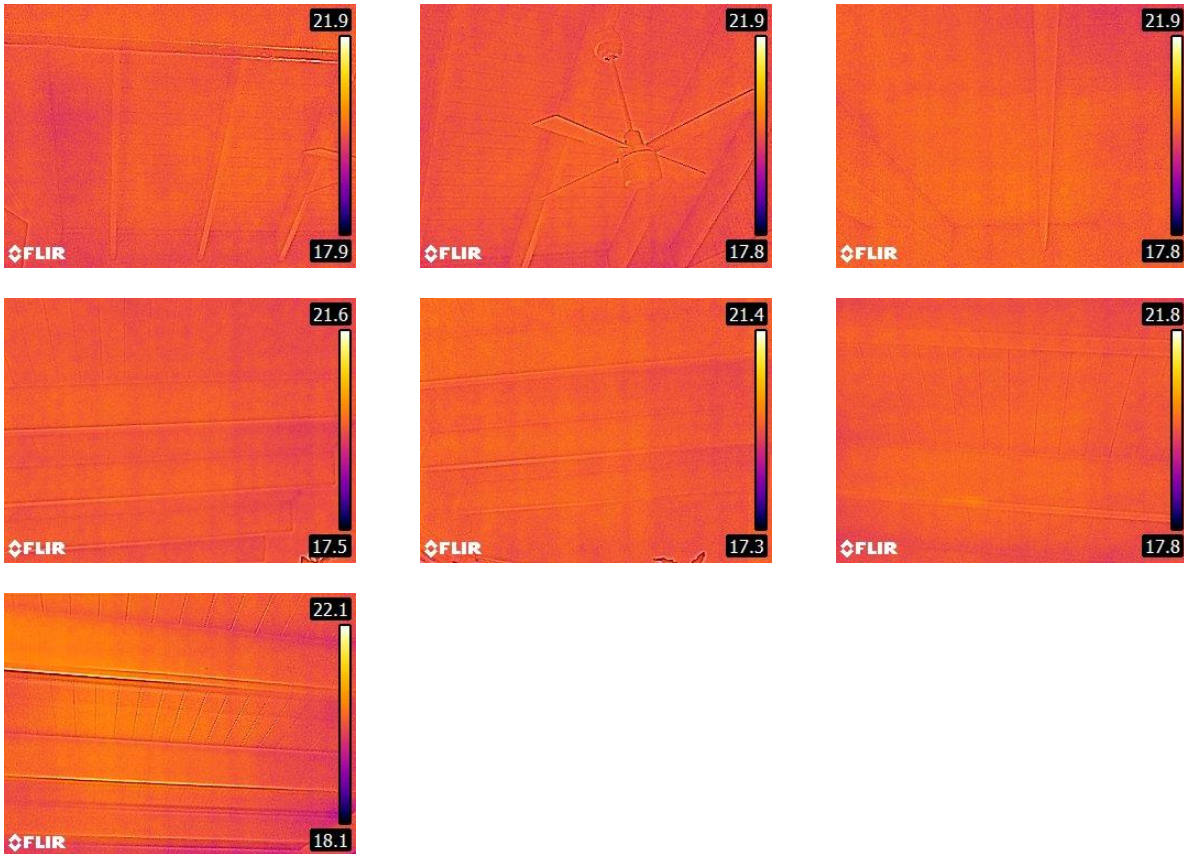




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ADDITIONAL INTERIOR RECOMMENDATIONS & ISSUES FOUND AT THIS INSPECTION:

1. Painting: The internal painting is in satisfactory condition and any associated marks, indents, holes, scratches, cracks and/or poorly patched areas to some of the wall and ceiling areas internally can be rectified prior to the next time of repainting.
2. Ventilation: The wet area (bathrooms, WC, Laundry) ventilation appears adequate and no rectification is required.
3. NOTE: Cornice joint cracking and cornice separation may be visible in some of the room areas. This is only minor and is normally common settlement only, unless otherwise stated in the body of this report.
4. NOTE: When “SATISFACTORY” appears in this inspection report, this term means there is no visible defects evident to that room or area as stated at the time of this inspection.
5. Floor movement: No
6. Floor undulation: No
7. Ceiling undulation: No
8. Floor tiles: Satisfactory



9. Wall tiles: Satisfactory

10. Carpets: Average

11. Other floor coverings: Average

INTERIOR DESCRIPTION OF EACH ROOM WITHIN THE BUILDING:

GARAGE:

Access Via: Driveway

Slab finish: Satisfactory

Garage doors and operation: Average, rusting and dented

Walls: Average, marked and scuffed

Ceilings: Satisfactory

Windows: Satisfactory

Doors: Satisfactory

LAUNDRY:

Access Via: Garage

Floor: Satisfactory

Wall tiles: Satisfactory

Walls: Average, water damage behind door

Ceilings: Satisfactory

Doors: Satisfactory

Cupboards: Satisfactory, minor marks

Tub: Satisfactory

Taps: Satisfactory

LIVING:

Access Via: Front Door

Floor: Satisfactory, light scuff marks

Walls: Average, minor marks, and cracked along sheet joins

Ceilings: Satisfactory

Windows: Satisfactory

Doors: Satisfactory

DINING:

Access Via: Living

Floor: Satisfactory, light scuff marks

Walls: Average, cracked along sheet joins

Ceilings: Satisfactory



Cupboards: Average, marked in areas

KITCHEN:

Access Via: Dining Room

Cupboards & shelving: Satisfactory, minor adjustment required to doors below sink

Sink: Satisfactory

Taps: Satisfactory

Bench tops: Satisfactory, minor marks, and 1 x small chip

Splashback: Satisfactory

Floor tiles: Satisfactory

Walls: Satisfactory

Ceilings: Average, stained around vent pipe

Windows: Average, roller requires maintenance

PC Appliances: (Dishwashers, Range Hoods, Ovens, Hot Plates & Microwave units are not tested in a visual pre-purchase inspection as this is out of our area of expertise)

SUNROOM:

Access Via: Living/Dining Room

Floor: Satisfactory

Walls: Average, cracked in areas

Ceilings: Average, paint patchy

Windows: Satisfactory

Doors: Average, rollers require maintenance

BATHROOM:

Access Via: Dining Room

Floor tiles: Satisfactory

Wall tiles: Satisfactory

Ceilings: Satisfactory

Windows: Satisfactory

Doors: Satisfactory

Vanity: Satisfactory

Taps: Satisfactory

Bath: Satisfactory

WC suite: Satisfactory

PC items: Satisfactory

Shower screen: Satisfactory

Shower rose: Satisfactory



Shower leaking: N/a as this shower backs onto the ensuite wall we were unable to obtain a wall cavity moisture reading

1ST BEDROOM:

Access Via: Kitchen

Floor: Satisfactory

Walls: Average, cracked in areas

Ceilings: Satisfactory

Doors: Satisfactory

Robe Cupboards: Average, rollers require service

ENSUITE:

Access Via: Bedroom 1

Floor tiles: Satisfactory

Wall tiles: Average, uneven in areas

Ceilings: Satisfactory

Windows: Satisfactory

Doors: Average, scuffed

Vanity: Satisfactory

Taps: Satisfactory

WC suite: Satisfactory

PC items: Satisfactory

Shower screen: Satisfactory

Shower rose: Satisfactory

Shower leaking: No shower leak was visibly evident at the time of this inspection.

2ND BEDROOM:

Access Via: Living Room

Floor: Average, minor marks and showing wear

Walls: Satisfactory

Ceilings: Satisfactory

Windows: Average, rollers require service

Doors: Satisfactory

Robe Cupboards: Satisfactory

3RD BEDROOM:

Access Via: Sunroom

Floor: Average, showing wear

Walls: Average, marked in areas



Ceilings: Satisfactory

Windows: Average, new rollers required, and sill weathered

Doors: Satisfactory, minor marks

INVASIVE INSPECTION REQUIREMENTS/FURTHER RECOMMENDATIONS

Invasive Inspections required to this property: None required

OTHER INSPECTIONS, CERTIFICATES, WARRANTIES OR REPORTS REQUIRED

It is Essential that these Inspections and/or Reports be obtained prior to any decision to purchase so the purchaser can be well equipped to make an informed decision.

Disclosure of the Owner Builder works that may have been carried out on this property	Full Electrical, Safety Switching, PC and Fittings Inspection, Certificate of Compliance	Full Plumbing, Stormwater & Sewer Drainage Inspection, Certificate of Compliance
Smoke Alarm Certification	PC Appliances & Hot Water unit/s Inspection	Home Owners Warranty Insurance Certificate as to any recent works carried out to this property
Termite Treatment Type, its area of application, its Warranty and certification	Council Approvals to be sought for any additions and or alterations within this property	Full Documentation of any renovation history having been carried out on this property
Property Valuation	Sewer Diagram	Occupation Certificate, or similar
Wet area Flashing and Waterproofing Certification		

12.0 TERMS & CONDITIONS:

Information Regarding the Scope & Limitations of our Inspection and Report

- 1. THIS IS A VISUAL INSPECTION ONLY:** Limited to those areas and sections of the property that is fully accessible and visual on the date of this property Inspection. (At the time of the inspection.)
- 2.** This Report does not make comment on areas that may be or are concealed. This report is an assessment or detection of any defects, (including rising damp and any leaks) which may be due to certain weather conditions. Whether or not services have been used (e.g. *In the case of shower enclosures, the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak.*) The presence or absence of timber pests. Any Gas fittings. Common property



ASSURED
PROPERTY INSPECTIONS
PRE PURCHASE BUILDING & PEST INSPECTIONS

areas. Local or near noise levels. Any health and safety issues. Any security concerns. Fire protection. Any detection of illegal building or plumbing of electrical works. We do not comment and any arrears out of our area of expertise.

3. If an Issue or pending dispute or a claim arises out of this inspection and report then each party must give written notice to each of the parties within 28 days. Disputes will then be handled by an independent nominated mediator or arbitrator. Each party will pay their own costs.
4. Verbal estimates if given are only opinions of costs of rectification. The knowledge, calculations and experience of the inspector are calculation only of possible costs that may be required. We accept no liability for any estimates provided throughout our inspection and report. It is essential you obtain independent prices from other qualified tradespeople for the works, if and when required.
5. This inspected property's site classification can be confirmed with your local Council or by obtaining a Geotechnical Engineers Inspection and Report. In addition, the CSIRO has a brochure available from your local Council in reference to foundation maintenance.
6. We are in no way connected or associated with any of the intended negotiations between the Purchaser, the Real Estate Agent, the Bank, the Lender or the Vendor. The sale of this inspected property is the sole responsibility of the selling Agent or the Vendor and we do not become entangled in such negotiations, under any circumstances.

7. **Conclusion & Warning:**

HIGH (Needs immediate rectification) **TYPICAL** (Rectification works is required) **LOW** (Minor rectification is required.)

The purpose of this inspection is to provide advice to the Client regarding the condition of the property at the time of the inspection. This inspection comprised a visual assessment only of the property to identify any defects and to form an opinion regarding the condition of the property at the time of the inspection.

The incidence of any form of Defects within this Building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered: **Warning: TYPICAL**

8. **DISCLAIMER 1:** No Liability shall be accepted on an account of failure within the Report to notify any problems in the areas of the subject property physically inaccessible for inspection or if access for Inspection is denied by or to the Inspector.
9. **DISCLAIMER 2: DISCLAIMER OF LIABILITY TO ANY THIRD PARTIES:** We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any person other than you in connection with the use of this Inspection Report. The only Person to whom we may be liable and to whom losses arising in contract or tort sustained may be payable by us, is the Client named on the face page of this report.
10. **COMPLAINTS PROCEDURE:** In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, YOU must notify the inspector as soon as possible of the dispute or claim by



email, fax or mail. You must allow us to visit the property (which visit must occur within twenty eight (28) days of your notification to us) and give us full access in order that we may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If YOU are not satisfied with our response YOU must within twenty eight (28) days of your receipt of our written response refer the matter to a Mediator nominated by us. The cost of this Mediation will be borne equally by both parties or as agreed as part of the mediated settlement.

a/ The decision of the Mediator will be final and binding on both parties. Should the Mediator, order either party to pay any settlement amount or costs to the other party; but not specify a time for payment, then such payment shall be made within twenty eight (28) days of the order. Any legal representation costs are borne equally by both parties should the need arise.

13.0 CONTACTING THE INSPECTOR

Please contact the Inspector below who carried out this inspection.

At times it is difficult to explain situations and access difficulties to what is and isn't inspected.

Any building matters of importance that need a further understanding by the client you should contact the inspector and have any misunderstood or other matters explained to you.

For a complete clarification then contact the inspector prior to purchase of this property.

Additional fees will apply if required to provide further written information from the Inspector.

The Inspector will only answer questions relating to this inspected property report and no other questions will be entered into in relation to the dwellings future structural ability or whether to purchase it.

This inspection and report is based on the expertise, accreditation and qualification of the Inspector written below.

Aaron Jackson-Hope Ph: 6656 0890

Licensed and Accredited Building Inspector

License No: HS/0612



14.0 ACKNOWLEDGEMENT OF THIS REPORT

I confirm I have read this Inspection Report and agree to call, Text, SMS or email the Inspector to advise him/her I have done so.

I also acknowledge that if I do not contact the Inspector, then the Inspector will contact me to ensure I have read and understand this report. The Inspector may answer any questions pertaining to the property associated to this report.



15.0 TERMINOLOGY & THEIR DEFINITIONS

GLOSSARY OF TERMS: (This explains Building Elements in layman terms.)

ACCESSIBLE AREA - An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

ACCESS HOLE - Access hole an opening in flooring or ceiling or other part of a structure to allow for entry to carry out an inspection.

AGG LINE - A perforated pipe (usually covered with a geo-textile fabric) laid behind retaining walls and other areas to catch seeping storm water.

APPEARANCE DEFECT - Fault or deviation from the intended appearance of a building element.

ARCHITRAVE - Molding surrounding a door or window opening to cover the join between the frame and the wall finish.

BALUSTRADE - A series of vertical members supporting a handrail of a stair, landing, platform or bridge.

BEARER - A sub-floor structural timber member which supports the floor joists.

BRICK VENEER - A method of construction in which a single leaf of non-load bearing wall of brickwork is tied to a timber or metal framed load bearing structure to form the external enclosure.

BUILDING ELEMENT - Portion of a building that, by itself or in combination with other such parts, fulfills a characteristic function.

CEMENT - A finely ground inorganic powder that, mixed with water, binds an aggregate / sand mixture into a hard concrete or mortar within a few days.

CLIENT - The person or other entity for whom the inspection is being carried out.

CONCRETE - A conglomerated artificial stone made by mixing in specified proportions cement, water and aggregates and pouring the mixture into prepared forms to set and harden.

CORNICE - A molding placed at the junction between a wall and ceiling.

DAMP- PROOF COURSE (DPC) - A continuous layer of an impervious material placed in a masonry wall or between a floor and wall to prevent the upward or downward migration of moisture.

DEFECT - Fault or deviation from the intended condition of a material, assembly or component.

DEFLECTION - Has a wavy appearance, causes the feeling of going up or down to these areas stated, lips in concrete surfaces at their joints.

EAVES - The lower part of a roof that overhangs the walls.

FASCIA - A metal profile, which is fixed to the lower ends of rafters and usually supports the guttering.

FOOTING - That part of a construction designed to transfer loads to the supporting foundation, usually constructed of reinforced concrete to support base brickwork.

FOUNDATION - The natural or built-up formation of soil, sub-soil or rock upon which a building or structure is supported.

FOUNDATION DOOR ENTRY - The door or cover access point into a dwellings sub floor area.

GABLE - The vertical triangular end of a building with a pitched roof, between the rafters from eaves level to the apex (ridge). It may be formed in brickwork or timber framed and clad with weatherboards.

GAUGE - An indicating device usually in brickwork setting out the number of bricks to a certain measurement. E.g. 7 brick courses per 600mm in height. This gauge is adjusted to suit the brick and the site conditions.

GOING - In a stair the horizontal distance from the face of one riser to that of the next.

HANGING BEAM - A beam above the ceiling used to support ceiling joists.

HEAD - The upper horizontal member at the top of an opening or frame.

HEADER - A brick laid with its greatest dimension across a wall usually used to tie two skins together or under a door sill or window.

HEARTH - The floor of a fireplace and immediately adjacent area.

HINDERED ACCESS - The inability to access this area stated in this report.



HIP ROOF - A roof which is pyramidal in shape with sloping surfaces and level edges all round.

INSPECTION - Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.

INSPECTOR - Person of organization responsible for carrying out the inspection.

JOIST - A timber or steel beam supported by a bearer which the flooring is fixed directly to.

LIMITATION - Any factor that prevents full or proper inspection of the building.

LINTEL - A horizontal supporting member spanning over a window or door opening. A "gal-lintel" is a steel lintel used to support brickwork over an opening.

MANHOLE ENTRY - The entry into the roof loft area by the removal of a ceiling cover or an internal wall doorway.

MAJOR DEFECT - A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

MINOR DEFECT - A defect other than a major defect.

MORTAR - A mixing of bush sand (white or yellow), cement (grey or off-white) and water for brickwork. Usually at the rate of 6-part sand to one-part cement (by volume) and if required one-part lime. Can have a flush, raked or round finish.

NEWEL POST - A post at the top or bottom of a stair flight to support the handrail and/or winders in the stair treads.

PARAPET - A low wall to protect the edge of a roof, balcony or terrace. Many shops have a parapet at the front of the building for signage.

PARTICLE BOARD - A flat floor sheeting of good dimensional stability made from wood flakes and synthetic resin / binder under heat and pressure. Can be produced with decorative elements for joinery work.

PELMET - A built-in head to a window to conceal the curtain rod or to a sliding door to conceal the tracks. Usually made of wood.

PERP - A vertical joint in masonry construction.

PITCH ROOF - The ratio of the height to span, usually measured in degrees.

POINTING - The completion of jointing between ridge or hip tiles with a matching colour after bedding of tiles or troweling of mortar into joints after bricks have been laid to touch up.

QUAD MOULDING - A molding with a cross-section of a quadrant of a circle used to cover joints often in eaves or at junctions of walls and/or ceilings.

RAFTER - A sloping member in a roof providing the principal structural support for the roofing material.

RAFTER (COMMON) - A rafter spanning the full distance from the eaves to the ridge.

RAFTER (HIP) - A rafter forming the hip at the external line of intersection of two roof surfaces. Jack rafters meet against it.

RAFTER (JACK) - A rafter between a ridge and a valley or a hip rafter and the eave.

RAKED JOINT - A brick joint raked out by the bricklayer for a key for plaster or as a decorative finish.

RENDER - The covering of a brick wall with one or more coats of cement mortar consisting of Sydney Sand, cement and plasterers clay.

RIDGE - The highest part (apex) of a roof, which is usually a horizontal line.

RISER - The vertical face of a step in a stair flight.

SERVICEABILITY DEFECT - Fault or deviation from the intended serviceability performance of a building element.

SEPARATION - Gapping formed between the two surfaces stated.

SIGNIFICANT ITEM - An item that is to be reported in accordance with the scope of the inspection.

SKEW NAILING - The driving of nails at an oblique angle often in different directions to improve the strength of a joint of fixing.

SKIRTING - A wooden board fixed to the bottom of a wall at the junction of the floor to prevent damage to the wall or to conceal small gaps.

SLIP JOINT - A joint designed to allow movement between two members usually in the form of two layers of sheet metal with grease installed on top of a brick wall prior to installation of a concrete slab.



SOFFIT/EAVES - The underside of a slab or an eave.

SOLDIER COURSE - A course of brickwork laid on its end.

SPROCKET - A framing timber used in eaves construction.

STRETCHER BOND - The most common masonry bond in Australia in which all bricks are laid with half overlaps and not using half bricks or cross bonds.

STRUCTURAL ELEMENT - Physically distinguishable part of a structure: **NOTE:** For example, a wall, column, beam or connection points.

TERRAZZO - A material consisting of irregular marble or stone fragments set in a matrix of cement and mechanically abraded and polished after casting to produce a smooth hard surface.

THRESHOLD - The step or sill at an external door of usually timber tile or brickwork.

TOUGHENED GLASS - Glass made by rapidly cooling the glass to make it shatter into small pieces when broken for safety, it usually cannot be cut and needs to be made to order to size. It is unlike laminated glass which is made from layers of glass with silicon between to crack only when broken for safety and can easily be cut on site.

UNDERPINNING - The construction of new footings or concrete piers under an existing footing to prevent its collapse or failure.

VALLEY - The meeting line of two inclined roof surfaces at a re-entrant angle.

VALLEY SERIES TRUSSES - A series of timber roof Trusses that form the valley within a hip roof construction.

WEEP HOLES - Vertical joints or perpends in brickwork left open above the flashing line to allow water from behind the wall to escape.

PLUMBING AND DRAINAGE TERMS

ABSORPTION TRENCH - A trench, pit or well excavated from permeable ground filled with broken stone, bricks or large granular materials and covered with earth to dispose of the discharge from a septic tank, sullage system or storm water by absorption into the ground. **GULLY TRAP (GT)** - An assembly in a sanitary drainage system, consisting of a trap and other fittings. Also called **GULLY**.

JUNCTION (PIPE) - A pipe fitting incorporating one or more branched.

MANHOLE - A large chamber or opening on a drain, sewer or equipment to permit access for inspection, testing or clearance if obstruction.

STACK - A vertical sanitary drainage pipe, including offsets, which extends more than one story in height.

SULLAGE - Domestic waste water other than from soil fixtures.

SUMP - A pit at or below the lowest point of a structure to collect unwanted water and facilitate its removal, usually by means of a **SUMP PUMP**. Also called **DRAIN PIT**.

TRAP - a) A fitting usually in the shape of the letter P or S which retains water to form a "water seal" so as to prevent the passage of gases or foul air into the building. b) A fitting for the interception of silt, acids, grease, oils or fats.

BOUNDARY TRAP - A trap in the property service drain, usually near the boundary of a property and below the lowest inlet, to prevent the entry of air or gases from the sewer into property service drain. Also called **INTERCEPTOR TRAP**.

GREASE TRAP - A device in the shape of a box with baffle plates to slow the flow of liquid waste and prevent the passage of greasy substance into the drainage system. Also called **GREASE INTERCEPTOR TRAP**.

P-TRAP - A trap in which the inlet leg is vertical and the outlet leg inclined below the horizontal to specified limits, with or without inspection opening at the lowest point.

S-TRAP - A trap in which the outlet leg is vertical and parallel with the inlet leg, with or without inspection opening at the lowest point.

SILT TRAP - A trap containing a removable container for the collection of silt, sand or grit.

VALVE - A device for the control of liquid or gas flow, having an aperture which can be wholly or partially closed by a plate, disc, door, gate, piston, plug ball or the flexing of a diaphragm.



FLOAT VALVE - A valve actuated by a float (floating ball) to control the flow of liquid, used in tanks or cisterns to maintain a minimum water level. Also referred to as **FLOATING BALL VALVE**.

FLUSH VALVE - A control device for water flow at mains pressure to a WC pan; used instead of a cistern.

MIXING VALVE - A valve which is designed to mix separate supplies of hot and cold water and direct the maximum.

PRESSURE REDUCING VALVE - A valve designed to reduce or limit the pressure of a fluid to a predetermined value in the downstream side. Also called **PRESSURE LIMITING VALVE**.

PRESSURE RELIEF VALVE - A spring-loaded or weight-controlled automatic valve to limit the build-up of pressure in pipe work, fittings or vessels by discharging excessive pressure to the atmosphere.

STOP VALVE - A valve, such as a gate valve, which can be operated to stop flow in a pipeline. Also known as **ISOLATING VALVE**.

TEMPERATURE RELIEF - A temperature activated valve to relieve excess pressure in water heaters in the event of a thermostat failure and overheating.

VENT (VENT PIPE) - A pipe provided to limit pressure fluctuations within a discharge pipe system by the induction or discharge of air and/or to facilitate the discharge of gases.

[End of report]